

0 100 200
GRAPHIC SCALE 100'

LEGEND

LIMITS OF CONSTRUCTION

ENDANGERED SPECIES PROTECTION PLAN

THE JOLLYVILLE PLATEAU SALAMANDER OCCUPIES A SPRING LOCATED ON THE CONCORDIA UNIVERSITY TEXAS PROPERTY AND IS LOCATED +/-800 FEET WEST OF THE SOFTBALL FIELD IN A NATURAL DRAINAGE CHANNEL LOCATED IN EXISTING PRESERVE LANDS OWNED BY CONCORDIA AND MANAGED BY TRAVIS COUNTY.

THE ENGINEER, THE OWNER, AND ENVIRONMENTAL CONSULTANT, ACI, HAVE MET WITH USFWS AND THE CITY OF AUSTIN (COA) TO WORK TOGETHER IN DETERMINING AN EFFECTIVE SOLUTION FOR PROTECTING THE JOLLYVILLE PLATEAU SALAMANDER. THIS SALAMANDER IS LISTED AS AN ENDANGERED SPECIES. IMPLEMENTING THE MEASURES REQUIRED IN THE CITY OF GEORGETOWN'S WATER QUALITY MANAGEMENT PLAN (WQMP) EXHIBIT 'A' WAS DISCUSSED WITH THE USFWS AND CITY OF AUSTIN AS PROVIDING SUFFICIENT PROTECTION FOR THE SALAMANDER.

IN ORDER TO COMPLY WITH THE WQMP AND TO PROVIDE ADDITIONAL PROTECTION FOR THE SALAMANDER SPRING SITE, THE FOLLOWING HAS BEEN IMPLEMENTED INTO THIS SITE PLAN:

1. BUFFERS:
 - a. NO DEVELOPMENT IS PROPOSED IN THE "RED ZONE." (80M UP AND DOWN STREAM FROM CENTER OF SPRING).
 - b. THE DEVELOPMENT IS PROPOSED OUTSIDE OF THE "ORANGE ZONE" (300M FROM CENTER OF SPRING).
 - c. 100-FOOT STREAM BUFFERS FROM CENTERLINE HAVE BEEN PROVIDED, WHICH COINCIDE WITH THE CITY OF AUSTIN WATER QUALITY TRANSITION ZONE.
2. WATER QUALITY:
 - a. A LIVE CHANNEL THAT MEETS THE TCEQ REQUIREMENTS FOR CHANNEL DESIGN HAS BEEN INCLUDED TO PROVIDE "PRETREATMENT" FOR THE ROADS AND THE BUILDING. THIS CHANNEL PROVIDES ADDITIONAL WATER QUALITY OVER AND ABOVE WHAT IS REQUIRED TO MEET CITY OF AUSTIN WATER QUALITY REQUIREMENTS.
 - b. A PARTIAL/SEDIMENTATION FILTRATION POND HAS BEEN PROVIDED MEETING 100% OF THE REQUIRED WATER QUALITY FOR THE DEVELOPMENT OF THE ROADS AND THE BUILDING, MEETING CITY OF AUSTIN REQUIREMENTS.
 - c. PARTIAL BIO-FILTRATION PONDS ARE PROVIDED MEETING 100% OF THE REQUIRED WATER QUALITY FOR THE DEVELOPMENT OF THE PARKING LOT, RESIDENCE HALL, AND ANCILLARY SITE IMPROVEMENTS, MEETING CITY OF AUSTIN REQUIREMENTS.
 - d. EXTENSIVE LEVEL SPREADERS (INCLUDING DEEP ROOTED SWITCH GRASS, STILLING BASINS, AND BIG MUHLY) HAVE BEEN PROVIDED TO REDUCE VELOCITIES FROM CONVEYANCE AREAS DISCHARGING CONCENTRATED RUNOFF.
3. WATER QUANTITY:
 - a. OFFSITE FLOWS ARE CONVEYED THROUGH THE SITE FOLLOWING NATURAL DRAINAGE PATTERNS AS MUCH AS PRACTICABLE.

BENCHMARKS

BM #50003 MAG NAIL SET IN TOP OF CURB ON A CIRCULAR MEDIAN LOCATED AT THE INTERSECTION OF TWO DRIVEWAYS 8' NORTHWEST OF A FLAG POLE AND 36' NORTHWEST OF A WASTEWATER MANHOLE.

- ELEV.=957.97' (NAVD '88)

BM #52122 MAG NAIL SET IN THE MIDDLE OF A CONCRETE WALL SOUTH ON THE LIFT STATION 25'± SOUTH OF A STORM SEWER MANHOLE ON A CURB INLET AND 47'± SOUTHEAST OF A WASTEWATER MANHOLE.

- ELEV.=940.28' (NAVD '88)



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

SITE PLAN APPROVAL SHEET 20 OF 43
 FILE NUMBER SP-2020-0038C APPLICATION DATE 1/31/2020
 APPROVED BY COMMISSION ON UNDER SECTION 112 OF CHAPTER 25-5 OF THE CITY OF AUSTIN CODE.
 EXPIRATION DATE (25-5-81.LDC) CASE MANAGER JEREMY SILTALA
 PROJECT EXPIRATION DATE (ORD#970905-A) DWFPZ DDZ

Director, Development Services Department
 RELEASED FOR GENERAL COMPLIANCE: ZONING R&D-PDA
 Rev. 1 Correction 1
 Rev. 2 Correction 2
 Rev. 3 Correction 3

Final plat must be recorded by the Project Expiration Date, if applicable. Subsequent Site Plans which do not comply with the Code current at the time of filing, and all required Building Permits and/or a notice of construction (if a building permit is not required), must also be approved prior to the Project Expiration Date.

Kimley Horn
 10814 JOLLYVILLE ROAD AVALON IV SUITE 200 AUSTIN, TX
 PHONE: 512-418-7171 FAX: 512-418-1791
 WWW.KIMLEY-HORN.COM
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 TPE Firm No. 928



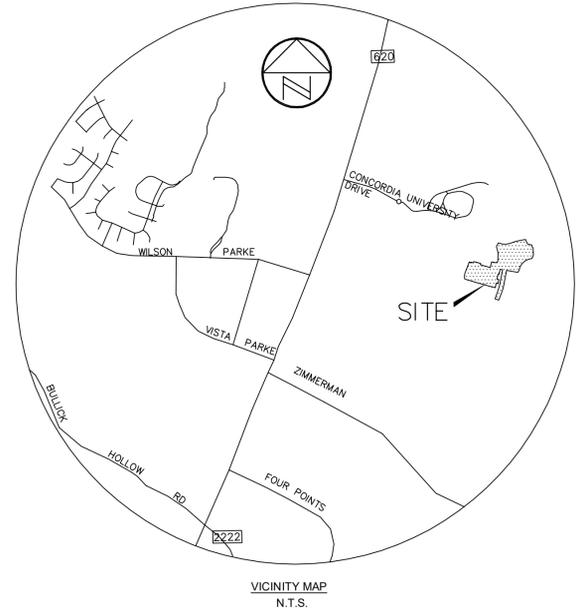
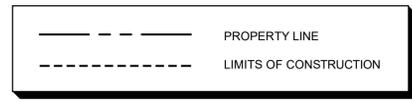
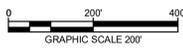
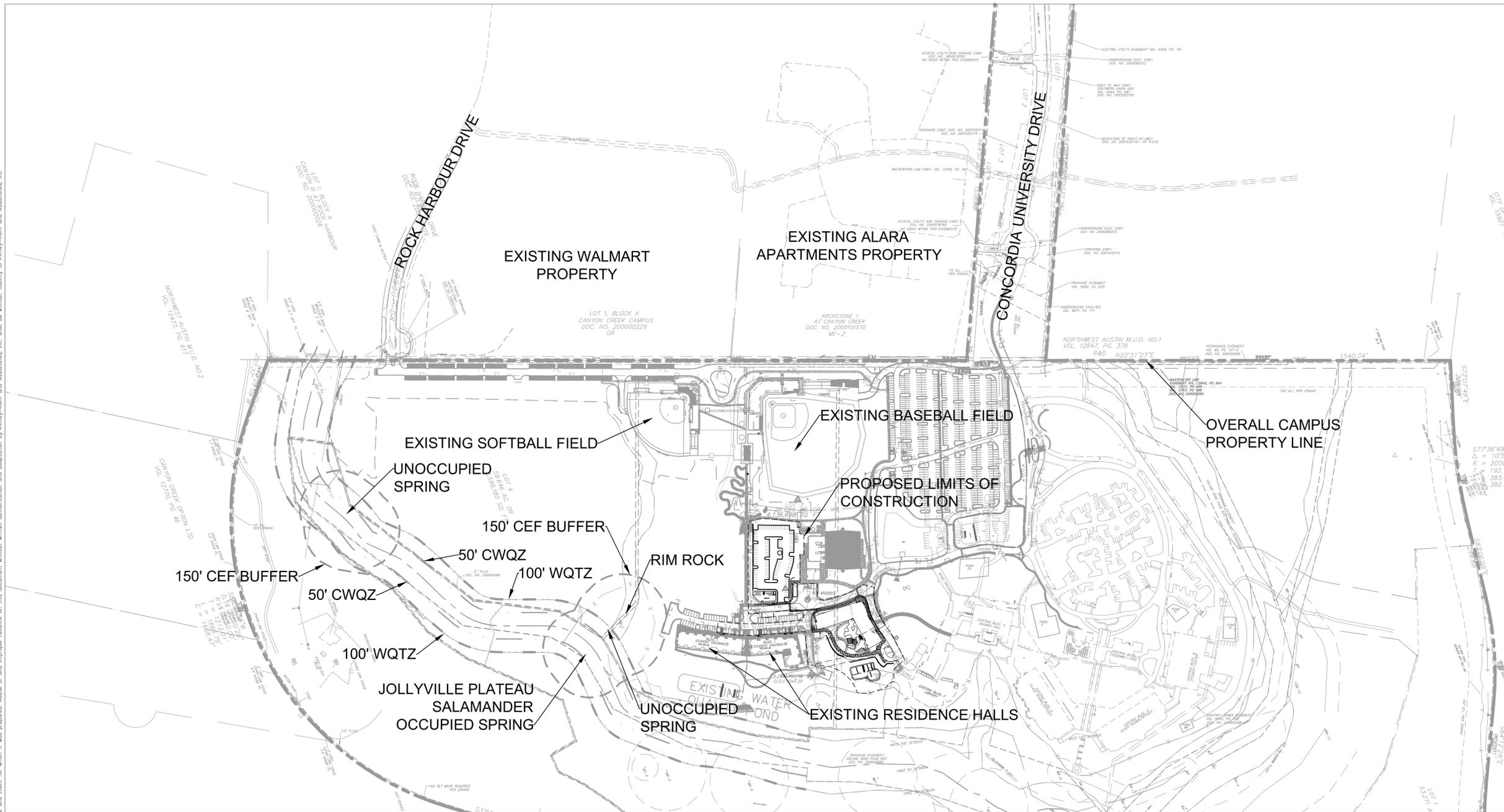
KHA PROJECT	06929503
DATE	JULY 2020
SCALE	AS SHOWN
DESIGNED BY	JCL
DRAWN BY	JCL
CHECKED BY	BEH

JOLLYVILLE PLATEAU SALAMANDER PROTECTION PLAN

CONCORDIA UNIVERSITY RESIDENCE HALL
 CITY OF AUSTIN
 TRAVIS COUNTY, TEXAS

SHEET NUMBER
20 OF 43

Plotted By: Lytle, Jack Date: June 29, 2020 10:15:50am File Path: Z:\Project\AUS_Civil\069229503 Concordia Master Plan\069273300 RESIDENCE HALL\06\Exhibits\PlanSheets\Context Map.dwg
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CONTEXT MAP
**Concordia University
 Residence Hall**

July 2020



NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND HAS BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY. TOPOGRAPHY, UTILITIES, CONTACT WITH THE CITY, ETC.



October 20, 2020

City of Austin
Planning and Development Review Department
505 Barton Springs Road
Austin, TX 78767

**Re: Variance Request Letter – Fill
Concordia University Residence Hall - Site Plan Application SP-2020-0038C
11400 Concordia University Drive
Austin, Texas 78726**

To Whom It May Concern:

INTRODUCTION

Please accept this letter as a request for a variance to the Lake Austin Ordinance #840301-F, Sections 9-10-409(A) and 9-10-409(B) for a max fill of +/- 8.75 ft for the above referenced project.

PROJECT DESCRIPTION

The Concordia University Texas campus is an existing campus located at 11400 Concordia University Drive in northwest Austin, Texas and Travis County. The existing property is approximately 383 acres including approximately 250 acres of preserve land. The campus has existing improvements including buildings, athletic facilities, private drives, underground utilities storm drains, stormwater ponds, and auxiliary improvements.

The proposed campus improvements include a 4-story residence hall building, associated parking lot, outdoor amphitheater area, pedestrian improvements, two water quality and detention ponds, and associated site improvements. This project is located within the Bull Creek Watershed, classified as a Water Supply Suburban Watershed. The site is located within the Edwards Aquifer Recharge Zone according to the City of Austin GIS. Critical water quality zones, water quality transition zones, and critical environmental features are located on the southern and eastern portion of the site. No development will occur in these locations. The terrain is heavily wooded and has some grass cover.



No requests for a variance to CEF buffers, WQTZ or CWQZ areas are being requested. If you have any questions or comments regarding this request, please contact me at 512-271-6314.

Sincerely,

A handwritten signature in blue ink that reads "Brandon E. Hammann".

Brandon Hammann, P.E., LEED AP
Project Manager

